



DOWNTOWN COMMISSION
CELINA COUNCIL CHAMBERS
112 N. COLORADO ST.
THURSDAY, MAY 4, 2023
9:00 AM



AGENDA

I. CALL TO ORDER

The Chair will call the meeting to order, establish a quorum, and lead those present in a salute to the American and Texas flags.

II. PRESENTATIONS

- A. Film Friendly Discussion
- B. Fire Department Update
- C. Development Update
- D. Special Events Update
- E. Downtown Commission and Fine Arts Board Joint Meeting Discussion
- F. Discussion of Previous Meeting Items

III. PUBLIC HEARING/ ACTION ITEMS

- 1. Minutes Approval:
 - 1. Downtown Commission - Regular Meeting - Apr 6, 2023 9:00 AM
- 2. Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 402 E. Beech St. (402 E Beech – Major Modifications) (White)
- 3. Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 310 S. Texas Dr. (310 S Texas – Major Modifications) (White)

IV. ADJOURNMENT

The Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code, Chapter 551.

“I, the undersigned authority do hereby certify that the Notice of Meeting was posted on the bulletin board at City Hall of the City of Celina, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: _____ at _____ a.m. and remained so posted continuously for at least 72 hours prior to the scheduled time of said meeting.”

Celina Council Chambers is wheelchair accessible. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf, or hearing impaired, or readers of large print, are requested to contact the City Secretary's Office at 972-382-2682, or fax 972-382-3736 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.



**DOWNTOWN COMMISSION
CELINA COUNCIL CONFERENCE ROOM
112 N. COLORADO
THURSDAY, APRIL 6, 2023
9:00 AM**



MINUTES

I. CALL TO ORDER:

Attendee Name	Organization	Title	Status	Arrived
Buddy Minett	City of Celina	Board Member	Present	
Rachel Baty	City of Celina	Board Member	Absent	
Jack Ousley	City of Celina	Chair	Present	9:05 AM
Michelle Baggett	City of Celina	Board Member	Absent	
Audrea Weimer	City of Celina	Board Member	Present	
Joseph Burke	City of Celina	Board Member	Present	
Sable Coleman	City of Celina	Board Member	Present	9:07 AM
Richard Gonzalez	City of Celina	Board Member	Present	

Chair Ousley called an the meeting to order at 9:05 AM, establishing a quorum and led those present in a salute to the American and Texas Flags.

II. ITEMS:

A. Minutes Approval:

1. Downtown Commission - Regular Meeting - Mar 2, 2023 9:00 AM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Buddy Minett, Board Member
SECONDER:	Joseph Burke, Board Member
AYES:	Minett, Ousley, Weimer, Burke, Gonzalez
ABSENT:	Baty, Baggett, Coleman

B. CIP Update:

Director of Engineering Andy Glasgow provided an update of CIP projects in the Downtown area.

C. Special Events Update:

Director of Marketing and Communication Joe Monaco provided an update on recent and upcoming Downtown events.

D. Development Update:

Executive Director of Development Services Dusty McAfee, Planning Director Madhuri Mohan, and Senior Planner Kari White updated the Commission on ongoing projects and discussed procedures for upcoming public hearings for Downtown Code Major Modifications.

Minutes Acceptance: Minutes of Apr 6, 2023 9:00 AM (Minutes Approval)

E. Cardiopulmonary Resuscitation Program Proposal:

Strategic Services Analyst Wesley Frank led a discussion of the Cardiopulmonary Resuscitation Program.

F. Discussion of Previous Meeting Items:

Mr. Frank led a discussion of previous meeting items.

III. ADJOURNMENT

Chair Ousley adjourned the meeting at 10:07 AM.



Life Connected.

Development Services
City of Celina, Texas

Memorandum

To: **Members of the Downtown Commission**
From: Kari White, Senior Planner
CC: Dusty McAfee AICP, Executive Director of Development Services
Date: May 4, 2023
Re: 402 E Beech - Major Modifications

Action Requested:

Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 402 E. Beech St. (402 E Beech – Major Modifications) (White)

Applicant:

Marc Robertson
3791 Broadmoor Way
Frisco, TX 75033

Background Information:

The applicant is requesting Major Modifications from the Downtown Code Architectural Standards in order to construct a single-family home within the Preston Streams District. Please refer to the attached documents for further information.

Supporting Documents:

- Location Map
- Staff Presentation
- Letter of Intent

Staff Recommendation:

Staff recommends approval as presented.



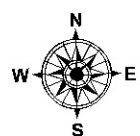
Attachment: Location Map (402 E Beech - Major Modifications)

Legend

-  Subject Property
 City Limits
 Roads
 Parcels

402 E Beech St.
Location
City of Celina

3/30/2023



0 90 180 Feet

402 E BEECH

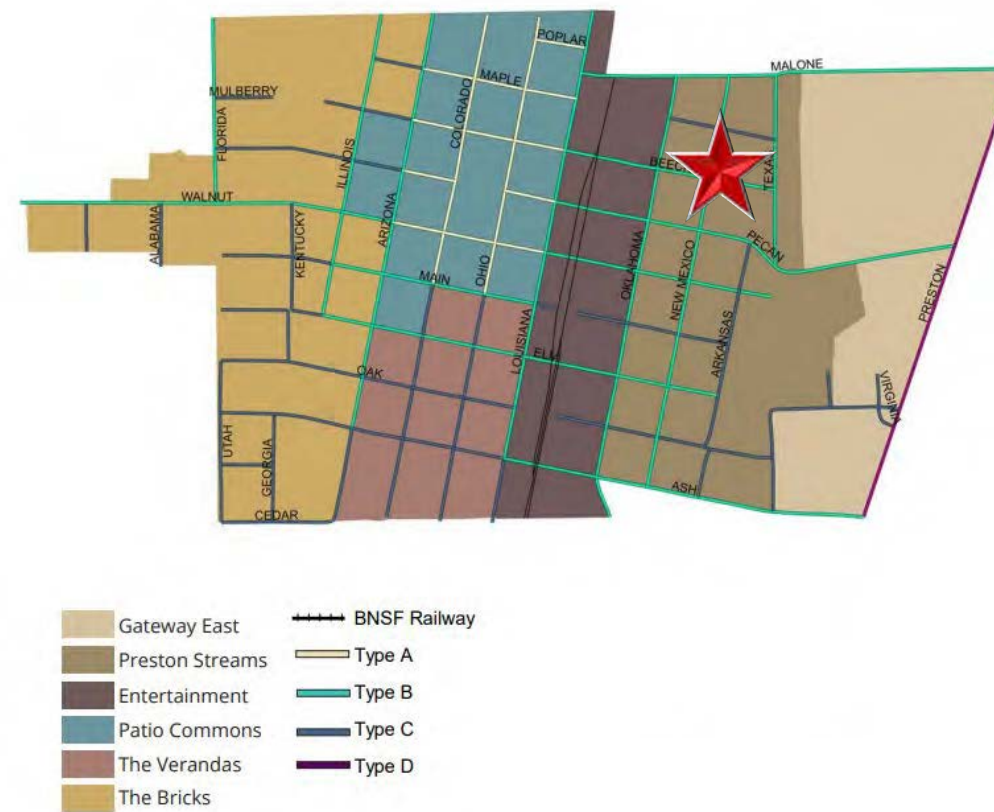
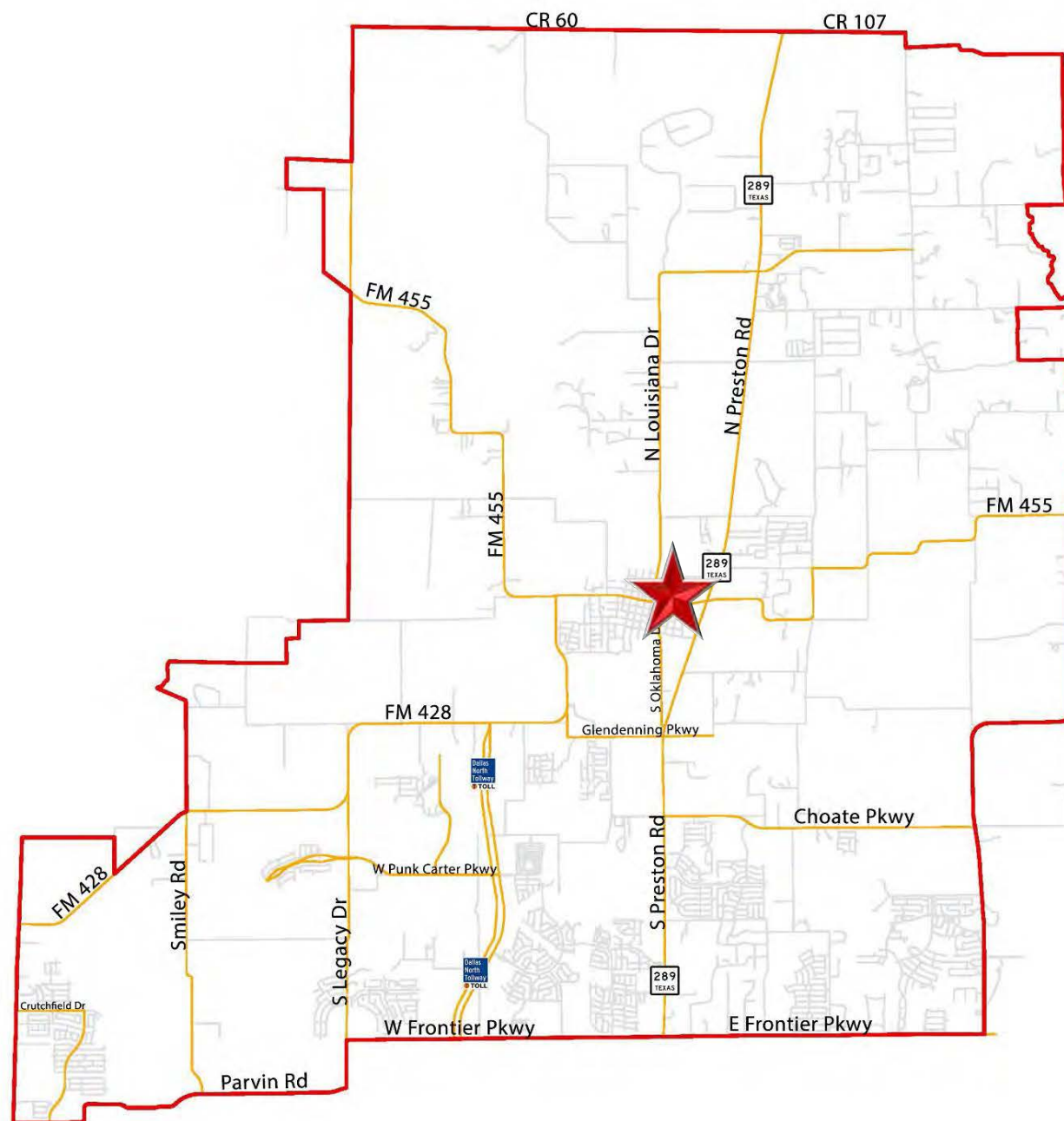
MAJOR MODIFICATIONS

Downtown Commission
May 4, 2023



APPLICANT REQUEST

Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 402 E. Beech St.





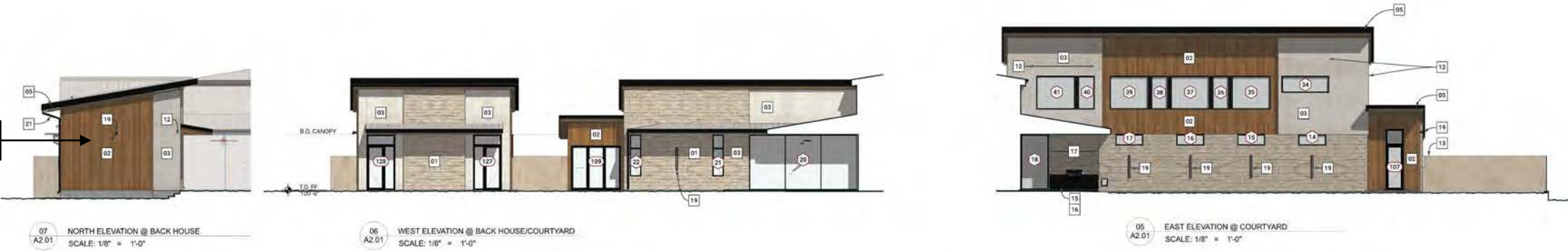
The subject property is generally located at the northeast corner of New Mexico Drive and Beech Street, within the Preston Streams District

PROJECT BACKGROUND

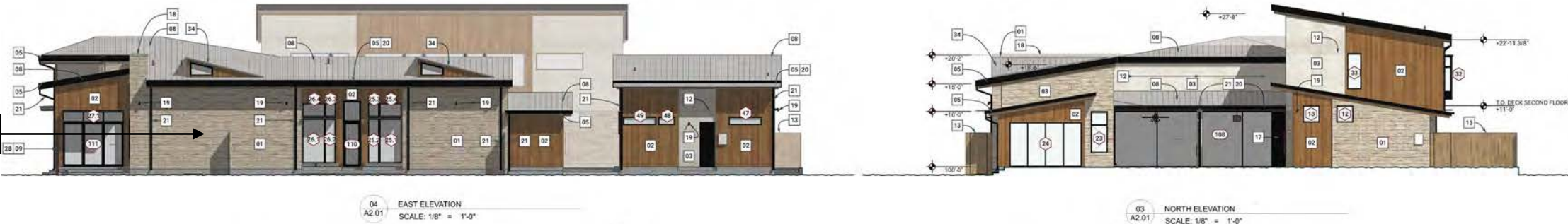
- The applicant desires to construct a detached, single-family dwelling for a personal residence
- The Downtown Code requires new construction to adhere to the Historic Texas Architectural Style characteristic of structures built from the 1890s to the 1930s
- The applicant has proposed a modern, Hill Country style home that does not meet the Historic Texas Architectural Style
- The applicant is seeking Major Modifications from the Downtown Code architecture regulations in order to construct the home as proposed
- Staff supports the request

PROPOSED ELEVATIONS

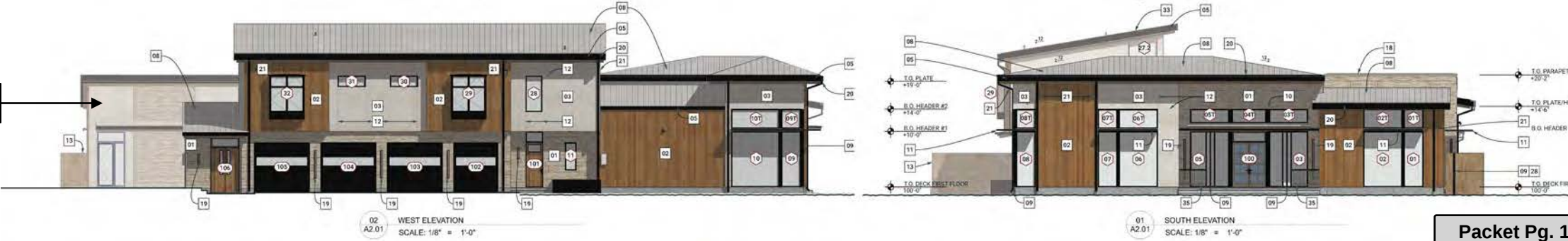
Steel Siding



Stone



Stucco



DOWNTOWN COMMISSION DUTIES

- Approve/disapprove major modifications for the Downtown district
- Approve/disapprove appeals from staff regarding interpretation and minor modifications
- Promote design guidelines for the Downtown district
- Review any long-range planning activities of the Downtown
- Recommend policies pertaining to the Downtown to City Council
- Discuss, review, and recommend policies pertaining to gentrification and Downtown residential living

MAJOR MODIFICATIONS OVERVIEW

- The Downtown Commission is responsible for reviewing major modification requests, and the decision to approve or deny a request shall be based on the following considerations:
 - The physical conditions of the property which make compliance to the specific standard physically impossible (hardships shall not be self-imposed)
 - The applicant has met the burden of presenting an alternative means of compliance that clearly demonstrates how the code exception would equal or exceed the existing standard in terms of achieving the stated principles above
 - The modification will not significantly impact adjacent property owners, the character of the area, traffic conditions, parking, public infrastructure, water quality management, and other matters affecting the public health, safety and general welfare
 - The modification will not deviate from the basic urban principle that buildings should directly front streets (as opposed to being set back from the right-of-way) and add value to the pedestrian walkability of the street edge

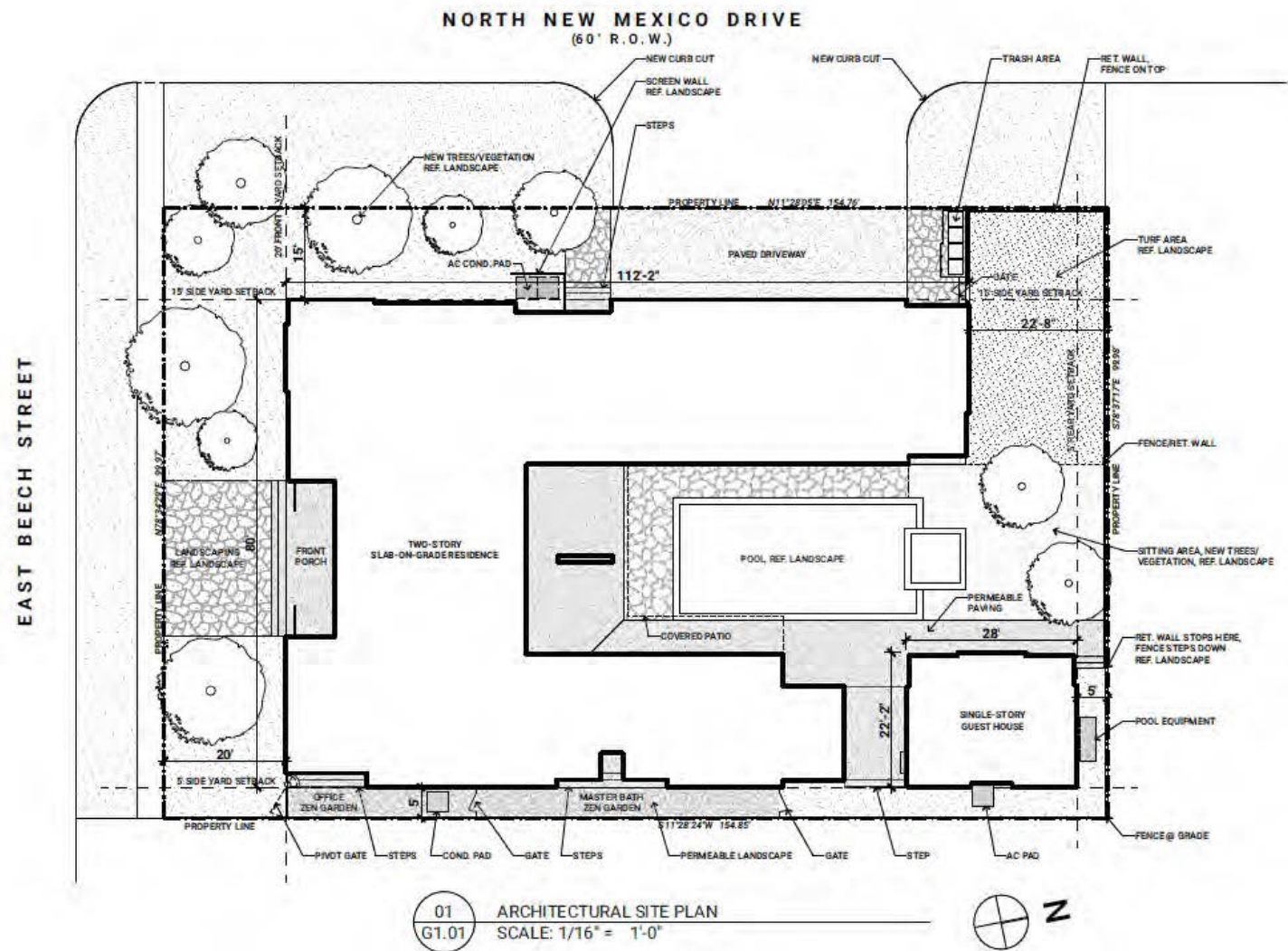
MAJOR MODIFICATIONS OVERVIEW

- When reviewing requests for modifications, the Downtown Commission shall consider the following principles:
 - Development shall enhance Celina's position as the region's predominant economic, civic, entertainment, and cultural center
 - Development shall positively contribute to unique mobility corridors with high-quality public realms
 - Development shall provide and maintain compatible transitions of form, use, and scale between existing and new development
 - [Reinvestment in existing neighborhoods shall enhance existing characteristics and heritage](#)
 - Historic resources shall be preserved, restored, and protected to the extent practicable, and new construction should have a Historic Texas design with special consideration given to the design of the public realm
 - Parking and access shall be balanced in a pedestrian- and bicycle-oriented manner
 - Landscape and public art shall be provided
 - Design of development shall be sustainable in how it caters to the people who experience Downtown, impacts the environment, and provides a tenacious fiscal return
 - [Diversity of housing types, styles, prices, and sizes shall be encouraged](#)
 - Administration of the Downtown Code shall prioritize reducing barriers to entry for new businesses

HISTORIC TEXAS IMAGERY

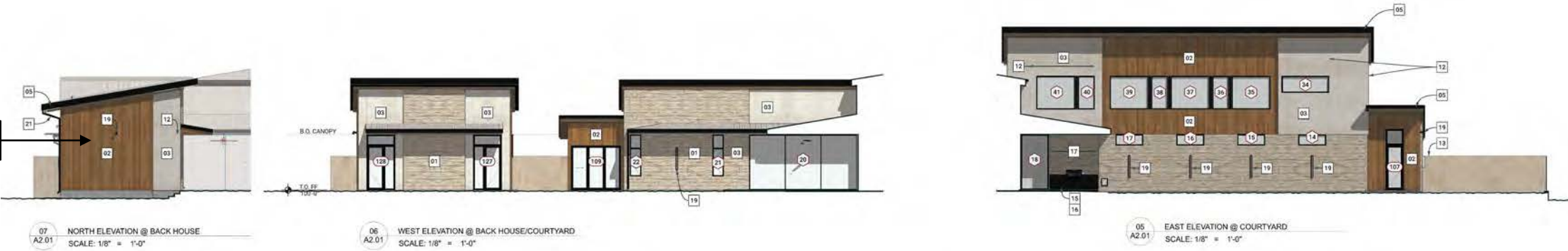


PROPOSED SITE PLAN

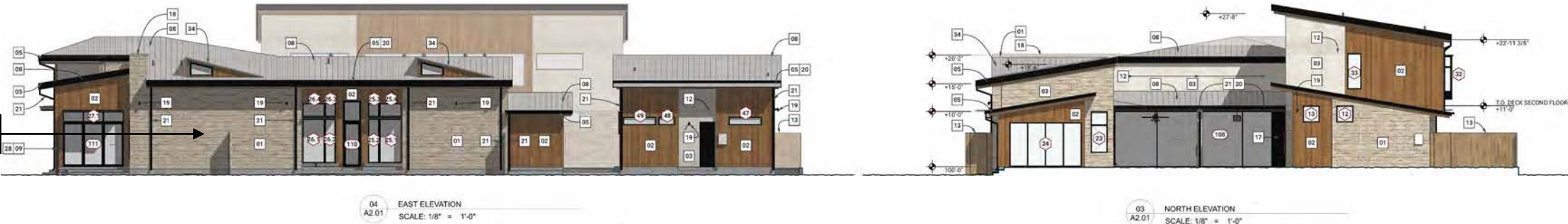


PROPOSED ELEVATIONS

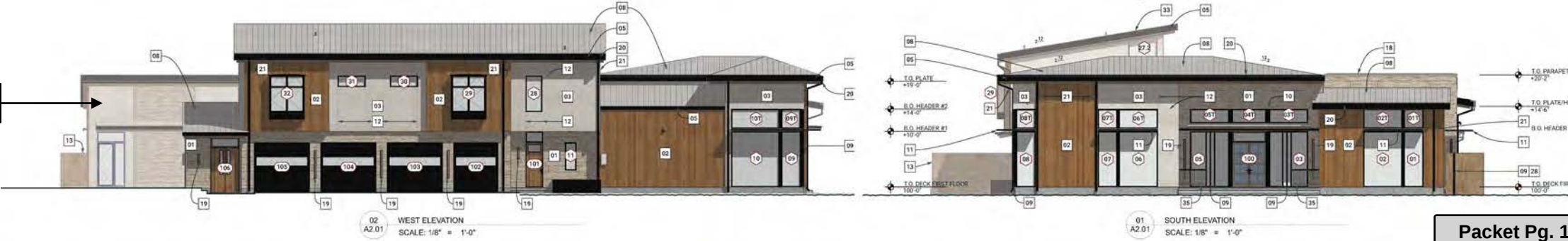
Steel Siding



Stone



Stucco



ADJACENCY



POLICY CONSIDERATIONS

- The Downtown Code was intended to prevent suburban tract housing in Downtown, and the proposed residence does not qualify as such
- The applicant has incorporated some features reminiscent of the Historic Texas Architectural Style, such as pitched roofs, into the design
- Neither the housing style nor building materials are common in the surrounding neighborhood
- Diversity of housing styles and reinvestment in existing neighborhoods are encouraged by the Downtown Code
- The Downtown Code generally requires parking to be visually mitigated from the public right-of-way
- While Staff finds the proposed on-site parking excessive (~4 spaces), it is acknowledged that the building being pushed toward the adjacent roadways achieves the urban, pedestrian-oriented, integrated streetscape that the Downtown Code calls for

RECOMMENDATION

- Notices were published in compliance with State and local law
- Staff recommends approval as presented
 - The proposed house is high-value with architectural interest
 - Only the Verandas District has an established Historic Texas character
 - Staff believes the adjacency impacts are minimal
 - In the future, Staff will propose further discussion on architectural standards for single-family homes in Downtown
- The Downtown Commission is the final approval authority for Major Modifications

April 18, 2023

Celina Downtown Commission
Celina City Hall
142 N Ohio St
Celina, TX 75009

Re. New Custom Home
402 E Beech St.
Celina, TX 75009

Dear Downtown Commission:

In December 2021 my wife and I purchased the property located at 402 E Beech st in Celina. We had decided to move our family to Celina from Frisco with the intent of becoming part of the Old Downtown Celina area. We were enthusiastic about the City's new vision for the Downtown area and thought it a great place to build our new home for our 7 Children.

We hired an Architect in March 2022 and begun the process of designing a house that would not only work well with our large family, but also positively contribute to the new Downtown District. Our Architect was directed to design within the guidelines as outlined in the Celina Downtown Code as adopted on May 11, 2021, as well as delivering the new home program, look and feel, that fit our family and lifestyle.

In September 2022 our Architect submitted a preliminary design of our new home to the City's Planning department for review and comment to ensure we were complying with the guidelines of the Downtown Code. Soon thereafter, Kari White with the City's planning department replied with comments of items that did not meet the guidelines. Our Architect amended the design to ensure the items Kari pointed out were changed and compliance was achieved.

After spending 9 months working on the design of our new home, we applied for a building permit and the required documentation on January 10, 2023. Approximately 2 weeks later, we received comments back from the City's plan review department requesting corrections as well as additional documentation.

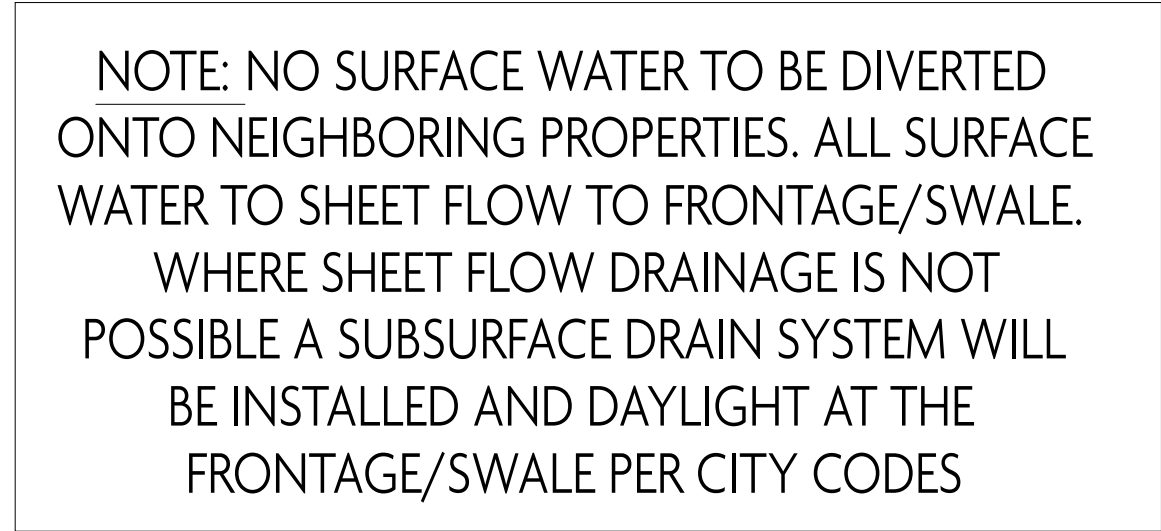
In early March 2023, after making the required corrections and updated documentation requesting by the City's plan review department, we resubmitted our building permit application for the second time. On March 21, 2023, we received comments from Kari White with the City's Planning Department restating several of her comments from September 2022 that had already been corrected. Further, she stated that our New Home Building Permit Application would need to go through the Downtown Commission for major modifications.

My wife and I are extremely disappointed with the process the City is forcing us to go through to get a building permit issued for our new home. Be that as it may, we offer the following attached documentation to support that indeed our new home will not only enhance the immediate and surrounding neighborhoods, but the home's design merits also comply with the guidelines as set forth in the Downtown Code.

Sincerely,

Marc and Robin Robertson

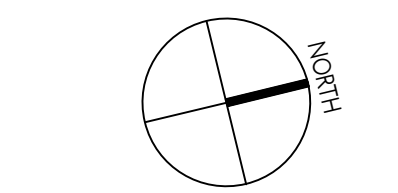
Attachment: Letter of Intent (402 E Beech – Major Modifications)



1. All drain line pipe to be PVC schedule 40, unless otherwise noted. Whenever possible tee connections shall be made with sanitary tees. All sleeves to be PVC schedule 40 per plan and or approved by Landscape Architect prior to construction.
2. All drain lines to drain at a minimum of one (1%) percent with smooth continuous fall.
3. All planted areas to drain at a minimum of two (2%) percent in direction of catch basins and away from house. No standing water or ponding shall be allowed.
4. All covered surfaces shall have ½% min. slope away from house.
5. All drainage devices are to be located and specified as shown on plan. Contractor shall not relocate or substitute devices without prior authorizations of Landscape Architect.
6. Fine grading shall be performed by the landscape contractor.
7. Contractor shall not start fine grading until he has inspected and approved rough grading. No additional fees will be given once the fine grading contractor has accepted the site in its rough graded state.
8. All proposed grades are to meet and blend in with the existing grading at project limit. Precise elevations indicated on plans to be verified in field to as-built conditions.
9. Finish grade shall be 1½" below paving and planting areas and 1" below finish grade in lawn areas.
10. Finish grade shall be 4" min. below the finished floor of the house, brick ledges or as indicated in grading & drainage plan.
11. Slope all beds and lawn areas away from house at 2% min. for ten feet or towards nearest drain. Site runoff shall not be directed toward neighboring properties.
12. All pipe and fittings shall be PVC class 200 or better. No corrugated pipe allowed. All midline connections (except on foundation drainage) shall be made with wye's or sweeps. All turns in piping shall be made with sweeps or 45 degree angles. All connections to be primed and glued. Provide clean outs at grade before all turns in pipe and or at 40' intervals max.
13. All perforated pipe shall be wrapped with MIRAfi 140N or better filter fabric sock prior to backfilling with drainage rock.
14. Refer to Arch. Plans, sections and specifications for venting and access of crawl space, vapor barriers, water stops, positioning of French drains along foundation, void space protection and other applicable information.
15. Drain lines indicated on plans are diagrammatic only. Route all lines per local and state codes. Hand-dig all trenches within drip line of all trees. Do not cut any roots over 2" diameter.
16. Do not combine landscape drainage with foundation and downspout drainage without approval of landscape architect.
17. Contractor to stake drainage system for approval prior to trenching.
18. Unless otherwise specified, drain grades in paved areas shall be brass or stone to match, and grades and dome grades in planting areas shall be black (NDS or equal).

402 HOUSE
402 EAST BEECH STREET
CELINA, TEXAS

SCALE: $\frac{1}{8}"=1'-0"$



DATE:
11.18.2022
REVISIONS:

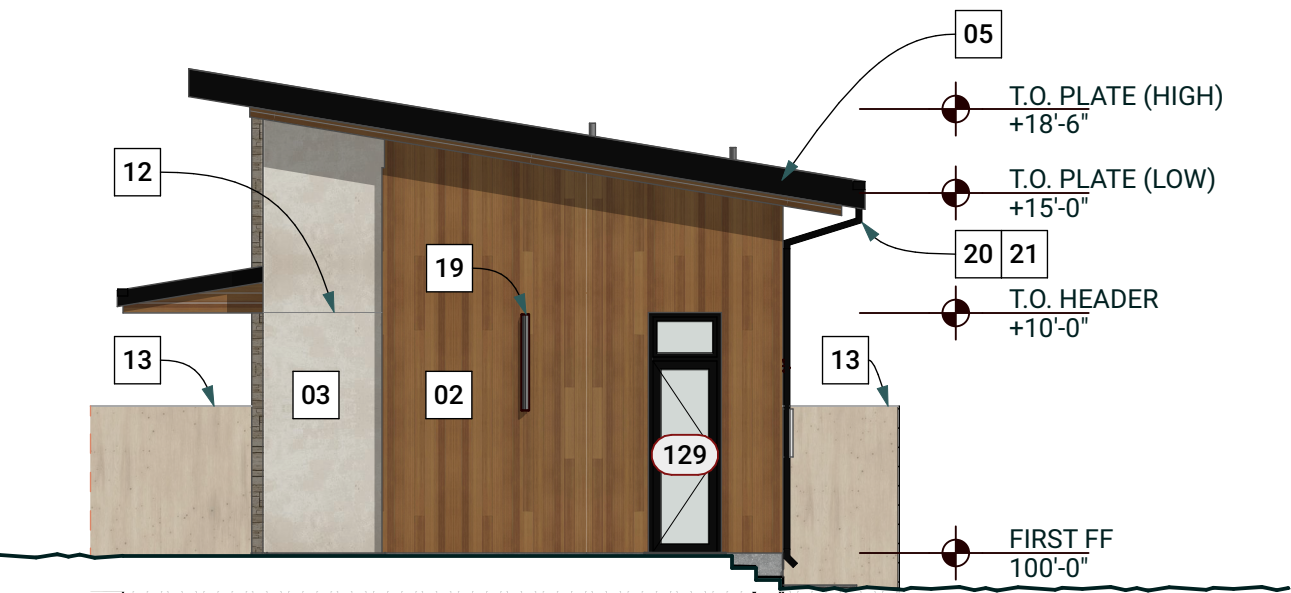
SITE DRAINAGE PLAN

L3.0

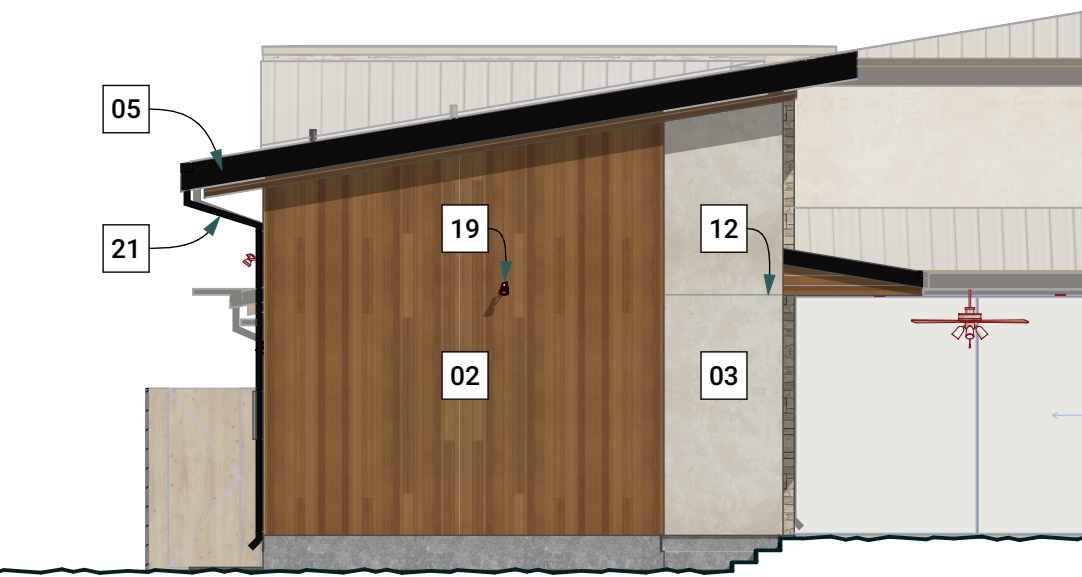
/Users/skylerfike/Library/Mobile Documents/com~apple~CloudDocs/2_Architecture/2022/202201 - 402 Beech Street | Robertson Residence/03 Working Drawings/01 Archcad Files/20230203 - 202201 Robertson Residence.ph

ELEVATION NOTES

ELEVATION KEYNOTES



08 SOUTH ELEVATION @ BACK HOUSE
A2.01 SCALE: 1/8" = 1'-0"



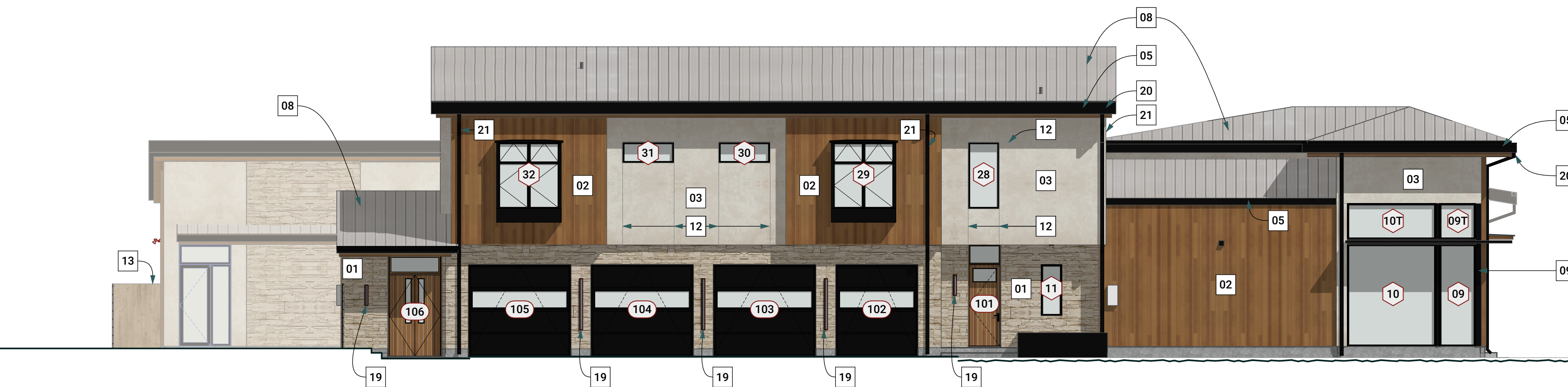
07 NORTH ELEVATION @ BACK HOUSE
A2.01 SCALE: 1/8" = 1'-0"



06 WEST ELEVATION @ BACK HOUSE/COURTYARD
A2.01 SCALE: 1/8" = 1'-0"



04 EAST ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



02 WEST ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

- 29 TRASH/RECYCLE BINS AREA, W/ (2) SLIDING WOOD GATES

30 GRANITE COUNTERTOP @ GRILL, COLOR/FINISH TBD.

31 DOGGY DOOR, SIZE TBD

32 FENCE BEYOND

33 BUILDING BEYOND

34 DORMER

35 DECORATIVE RAILING
- 15 WOOD MILLWORK @ GRILL, COLOR/FINISH TBD.

16 GRANITE COUNTERTOP @ GRILL, COLOR/FINISH TBD.

17 STEEL SIDE STILE, BLACKENED, 3/8"

18 METAL CAP SLOPED, MATERIAL & COLOR TBD.

19 EXTERIOR SURFACE MOUNTED LIGHT, REF. LIGHTING SCHEDULE

20 INSET GUTTER, REF. DET. XX.XX

21 DOWNSPOUT, COLOR TBD

22 PLUMBING VENT

23 DRYER VENT

24 VENTAHOOD VENT

25 A/C CONDENSER/PAD, REF. FLOOR PLAN

26 PERFORATED BREAK METAL WALL, REF. FLOOR PLAN/LANDSCAPE

27 RETAINING WALL, REF. SITE PLAN/LANDSCAPE PLAN

28 PIVOTING GATE, REF. XX.XX
- 01 STACKED STONE, COLOR TBD

02 STEEL SIDING, MATERIAL/MANUF. TBD

03 STUCCO, SMOOTH "SANTA BARBARA" FINISH, COLOR TBD

04 UNUSED

05 METAL FASCIA, BLACKENED, MATERIAL/MANUF. TBD

06 BREAK METAL EDGES & FLASHING

07 STEEL SIDING FASCIA & SOFFIT, MATERIAL/MANUF. TBD

08 12" STANDING SEAM METAL ROOF, COLOR/FINISH TBD.

09 PTD. STEEL COLUMN

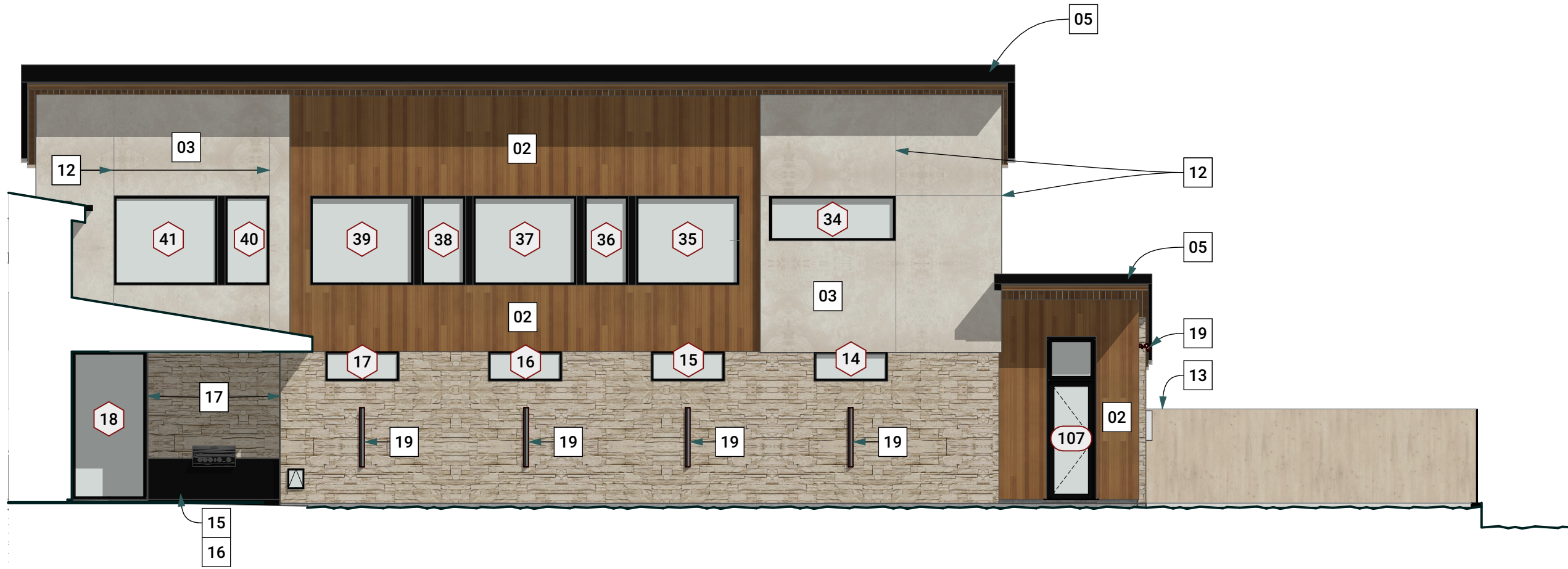
10 STEEL HEADER

11 LIGHT SHELF + LOUVERS, REF. XX.XX

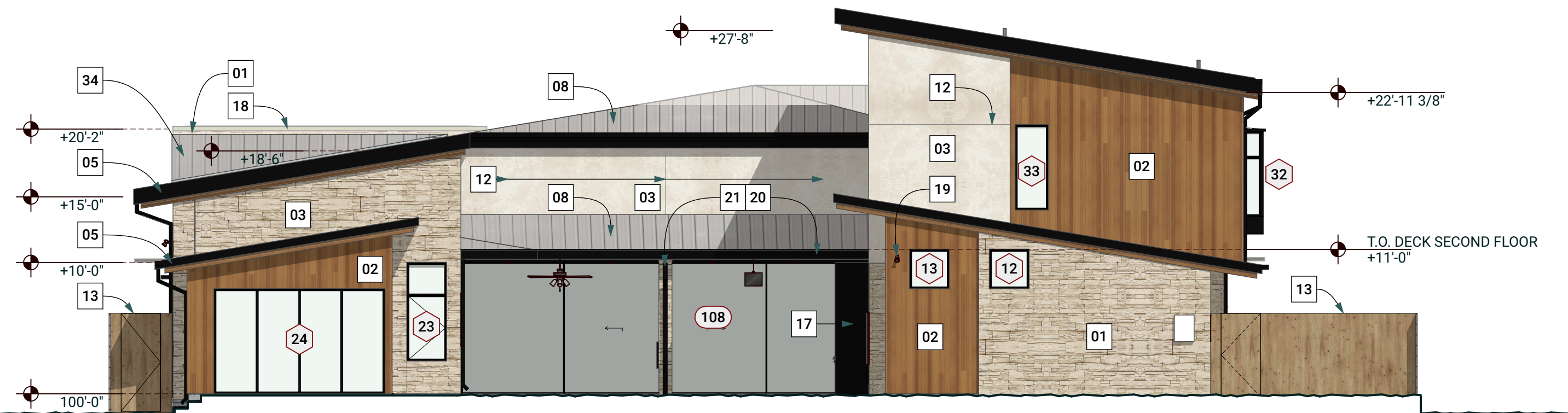
12 STUCCO JOINT

13 WOOD FENCE BEYOND, TUBE STEEL POSTS, MANUF. TBD.

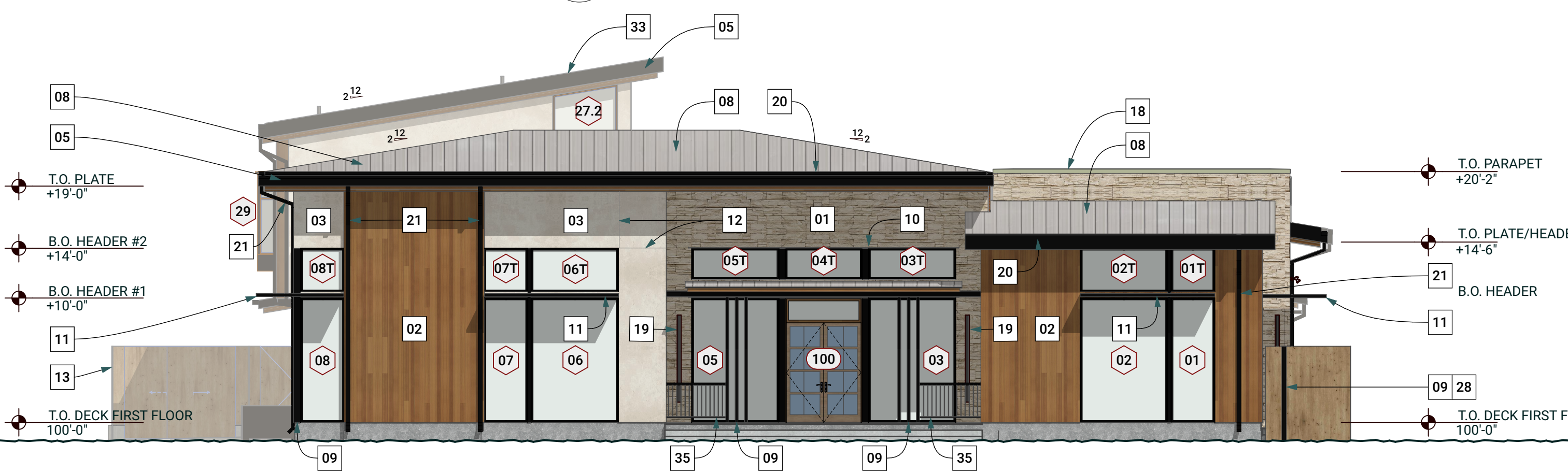
14 CONCRETE BENCH, BEVEL EDGES



05 EAST ELEVATION @ COURTYARD
A2.01 SCALE: 1/8" = 1'-0"



03 NORTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



01 SOUTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

SFS
SKYLER FIKE STUDIO

PROJECT INFORMATION
402 HOUSE
402 Beech Street
Celina, Texas 75009

PROJECT NO.
202201

CLIENT
Robin & Marc Robertson
214-213-0366
mrobertson@cymcor.com

ARCHITECT
SKYLER FIKE STUDIO
Skyler Fike, RA, NCARB
250 N Bishop Avenue
Suite 240
Dallas, TX 75208
214-862-4334
skyler@skylerfikestudio.com



ISSUE

PERMIT 12/21/2022

REVISION

DATE: Sunday, March 5, 2023

402 HOUSE

402 Beech Street
Celina, Texas 75009

Architect of Record
SKYLER FIKE STUDIO

PROJECT NO: 202201
MODEL FILE:
20230203 - 202201 Robertson Residence.ph
DRAWN BY: Skyler J Fike
COPYRIGHT: SKYLER FIKE STUDIO
DATE: 3/5/23

SHEET TITLE

A2.01
EXTERIOR ELEVATIONS

SHEET 28

OF 61

Packet Pg. 24

Attachment: Letter of Intent (402 E Beech - Major Modifications)

402 House Design Merits that support the Design Principles outlined in the Downtown Code**PRINCIPLE 1****402 House Design Merit**

Development shall enhance Celina's position as the region's predominant economic, civic, entertainment, and cultural center.	<i>The 402 House's design will not only enhance both the immediate and adjacent neighborhoods, it will most likely increase property values.</i>
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PRINCIPLE 2**402 House Design Merit**

Development shall positively contribute to unique mobility corridors with high quality public realms that enhance the functionality of the project, its surroundings, Downtown, and design for walkability, travel choice, and modern advances in transportation as applicable.	<i>This principle generally speaks about commercial development and its characteristics contributing to public spaces, travel, and transportation. It does not specifically apply to a single-family new home. We do however plan to install new sidewalks (if allowed by the City) at both the front and sides of the new home.</i>
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PRINCIPLE 3**402 House Design Merit**

Development shall provide and maintain compatible transitions of form, use, and scale between existing and new developments and projects.	<i>Most of the existing homes in the immediate neighborhood of the 402 House were built between the 1950s – 1980s. The 402 House has similar roof lines (pitched and gables) but are smaller in size. Although the 402 house is both larger and newer, the design does not significantly differ in shape of building plans, etc.</i>
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PRINCIPLE 4**402 House Design Merit**

Reinvestment in existing neighborhoods shall reinforce and enhance existing characteristics and heritage.	<i>Several of the existing homes in the immediate or adjacent homes were built between 1950s – 1980s. The 402 House has incorporated stone, siding, and minimal stucco that should blend and complement adjacent homes. The design style of the 402 House is similar to a mid-century design, which was the decade many of the home in the neighborhood were initially built.</i>
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PRINCIPLE 5**402 House Design Merit**

Historic resources shall be preserved, restored, and protected to the extent possible. New construction or renovation should have a Historic Texas Design, with consideration give to the design of the public realm.	<i>The 402 House will be new construction on a vacant lot. The City of Celina has identified 8 historical elements that can be added to a new homes design to aid in achieving Historic Texas Design. The new home design has incorporated divided light windows, dormers, bay windows, and a porch with columns and railings. A significant landscaping design with native Texas drought tolerant plants, trees, and grasses will be installed and used on the new home.</i>
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PRINCIPLE 6**402 House Design Merit**

Historic resources shall be preserved, restored, and protected to the extent possible. New construction or renovation should have a Historic Texas Design, with consideration given to the design of the public realm.	<i>The 402 House will be new construction on a vacant lot. The City of Celina has identified 8 historical elements that can be added to a new homes design to aid in achieving Historic Texas Design. The new home design has incorporated divided light windows, dormers, bay windows, and a porch with columns and railings. A significant landscaping design with native Texas drought tolerant plants, trees, and grasses will be installed and used on the new home.</i>
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PRINCIPLE 7**402 House Design Merit**

Landscape and public art shall be provided and designed to promote the safety, branding, function, and beauty of Downtown.	<i>The 402 House will have a significant Landscape Package using new but mature native Texas trees, significant drought tolerant plants and grasses. The landscaping for this new home is expected to be a significant part of the new project and enhance the corner of this older neighborhood significantly.</i>
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PRINCIPLE 8**402 House Design Merit**

Design and function of development shall be sustainable in how it caters to people who experience Downtown, impacts the environment, and provides a tenacious fiscal return.	<i>Design of the 402 House has incorporated sustainable products in the HVAC components with high efficiency units, LED lighting, low water consumption plumbing fixtures, high efficiency windows with Low E glass and glazing, as well as drought tolerant landscaping. The metal siding used on the exterior of the home is produced from reclaimed / recycled steel. Interior materials have been selected to include eco-friendly green building products.</i>
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PRINCIPLE 9**402 House Design Merit**

Diversity of housing types, styles, prices, and sizes shall be encouraged.	<i>The new home at 402 E Beech Street will vary in both size and price from adjacent homes in the neighborhood.</i>
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** See attached pages for supporting documentation labeling "SUPPORTING DOCUMENTATION FOR DESIGN PRINCIPLES".

Responses to City Staff Comments pertaining to Major Modifications to the Downtown Code:

Major:

. Building form. In this case, the applicant was proposing a flat roof instead of a pitch roof.

Architect of Record Response: “Early on during concept phase we proposed a “flat” roof. We were then given instructions by City Staff that the roof had to be pitched. We modified the design from a flat, TPO roof to a hipped/pitched standing seam roof. There are no flat roofs anywhere on the project.”

Owner Response: Once you instructed our Architect that “Flat” roofs were prohibited, we instructed him to change the design to comply with the code. He did so and our Building Permit submission reflects this. We are not requesting a major modification and have met the required code.

. Building materials. In this case, the applicant showed excessive stucco and metal siding, not the expected materials of brick, stone, limited stucco, and fiber cement siding.

Architect of Record Response: — “The Downtown Code calls for building materials to be of Historic Architectural Style, characterized by stone or brick and neutral earth tones. We have worked diligently to ensure that the exterior design of the house from the standpoint of the passerby looks and feels authentically “Texas.” We do this using a majority of neutral, off-white/tan stone, as well as an alternative material that looks and reads exactly like wood. The biggest difference is that this material is more durable, more sustainable, and maintains a cleaner appearance throughout the life of the structure.

The Downtown Code does not specify a number (%) that would classify the stucco (or any material) as excessive. The stucco material used on our facade represents less than 20% of the overall publicly visible facades as well as the total exterior. Stone and our wood-substitute make up a majority of the building’s exterior.

The type of stucco being used is called “burnished stucco” or stucco with a “Santa Barbara finish.” This type of stucco is not like the type of material you commonly find on inexpensive commercial buildings. It’s a high-end finish, and one commonly used in the early 1900s when Spanish Colonial style began to influence Texas structures, commonly in San Antonio. It’s smooth to the touch, resembling a suede like feel, and the hue of which is also warm, neutral, and is designed to supplement the warmer tones found in the stone and siding.

Beyond the exterior materials, we have employed a renowned Texas landscape architect to design an authentically-Texas landscape that aims to not only positively complement the Texas house, but beautify an otherwise derelict street corner. We are happy to provide renderings of this to illustrate how the landscape dramatically influences the architectural design.”

Website for reference about historic stucco. Not sure if totally relevant but may help us:

<https://www.oldhouseweb.com/how-to-advice/the-preservation-and-repair-of-historic-stucco.shtml>

Owner Response: We do not find anywhere in the DTC that “the expected materials of brick, stone, limited stucco, and fiber cement siding” is the requirement. To the contrary, the codes read just as the AOC has outlined in his response. We are not requesting a major modification and have met the required code.

Attachment: Letter of Intent (402 E Beech – Major Modifications)

. Excessive parking. Initial plan showed 4 garage spaces and 5 driveway spaces, but the DTC only calls for 1.5 spaces/unit.

Architect of Record Response: - The driveway, made of permeable concrete surface, features spaces for three cars plus one golf cart, not five cars. The 1.5 spaces per unit is referencing what we think is multi-family code, not single-family. Secondly, the garage is not required to be set back by code, but also by precedent of several new construction homes within the Downtown District. Several have 2, 3, and 4 car garages.

Owner Response: We are not building a multi-unit building, rather a single-family home. The 1.5 spaces per unit is applicable to a Multi Family Building, not a single-family home. Further, the new project will have an accessory building. If the 1.5 spaces per unit were applicable, we would be allowed 3 spaces. The house as designed has a 3-car garage with 1 stall for a golf cart. We are not requesting a major modification and have met the required code.

. Non-conforming garage. DTC requires garages are setback 10' from the front plane of the home and 20' from the curb. The plan shows the garage flush with the home.

Owner Response: Although we are on a corner lot, the front of the home faces the primary street (Beech St) while the garage faces the side street. The code specifically states "Garages shall be recessed from the front of the primary structure by a minimum of ten feet when facing the street. Again, our home is on the side of our house and is not on the front of our home. Your comment is not applicable to our design. We are not requesting a major modification and have met the required code.

Minor:

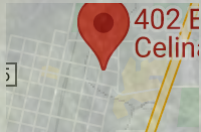
. Building dimensions. Exceeding House building type maximum dimensions. In this case, the lot is larger than typical downtown lots, so the larger dimensions don't seem so out-of-scale.

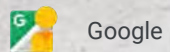
Owner Response: We have met all required setbacks as outlined in the DTC and agree that the building dimensions are proportionately scaled with this oversize lot.

SUPPORTING DOCUMENTATION:

SEE THE FOLLOWING PAGES FOR PHOTOS OF EXISTING HOMES IN IMMEDIATE NEIGHBORHOOD OR ADJACENT NEIGHBORHOODS

← 405 E Beech St Celina, Texas

 **402 E Beech St**
402 E Beech St, Celina, ...
33.33°N, 96.78°W



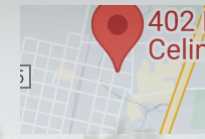
Google Earth

© 2023 Google



Camera: 218 m

← 308 N New Mexico Dr Celina, Texas



402 E
Celina

402 E Beech St

402 E Beech St, Celina,...

33.33°N, 96.78°W



Google

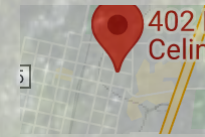
Google Earth

© 2023 Google



Camera: 217 m

← 312 N New Mexico Dr Celina, Texas



402 E Beech St

402 E Beech St, Celina,...

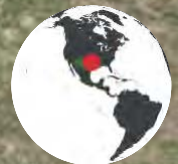
33.33°N, 96.78°W



Google

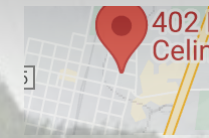
Google Earth

© 2023 Google



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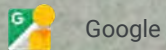
← 401 E Maple St Celina, Texas



402 E Beech St

402 E Beech St, Celina,...

33.33°N, 96.78°W



Google Earth

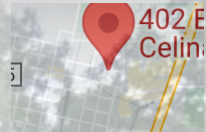
© 2023 Google

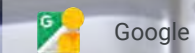


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Attachment: Letter of Intent (402 E Beech – Major Modifications)

← 412 E Beech St Celina, Texas

 **402 E Beech St**
402 E Beech St, Celina, TX 78759
33.33°N, 96.78°W



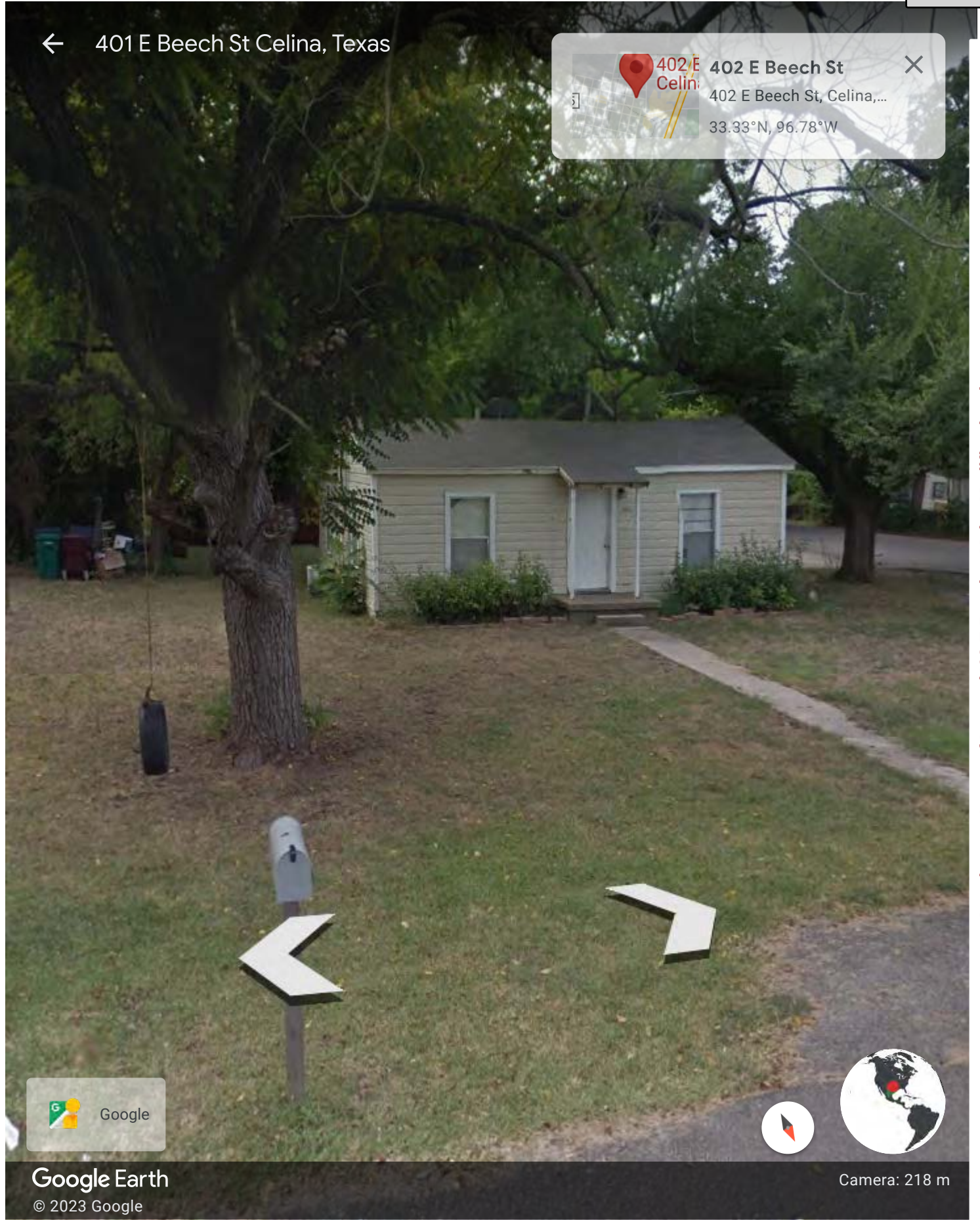
Google Earth
© 2023 Google



Camera: 219 m

Attachment: Letter of Intent (402 E Beech – Major Modifications)



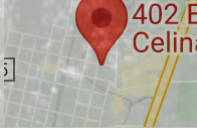


Attachment: Letter of Intent (402 E Beech – Major Modifications)



Attachment: Letter of Intent (402 E Beech – Major Modifications)

← 402 E Beech St Celina, Texas



402 E Beech St

402 E Beech St, Celina,...

33.33°N, 96.78°W

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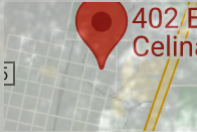
Google Earth
© 2023 Google



Camera: 218 m

Attachment: Letter of Intent (402 E Beech – Major Modifications)

← 411 E Beech St Celina, Texas



402 E Beech St

402 E Beech St, Celina, TX 78759

33.33°N, 96.78°W

×



Google Earth
© 2023 Google



Camera: 218 m

Attachment: Letter of Intent (402 E Beech – Major Modifications)



Life Connected.

Development Services
City of Celina, Texas

Memorandum

To: **Members of the Downtown Commission**
From: Kari White, Senior Planner
CC: Dusty McAfee AICP, Executive Director of Development Services
Date: May 4, 2023
Re: 310 S Texas - Major Modifications

Action Requested:

Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 310 S. Texas Dr. (310 S Texas – Major Modifications) (White)

Applicant:

HMS Family Realty
1341 S. Preston Road
Celina, TX 75009

Background Information:

The applicant is requesting Major Modifications from the Downtown Code Architectural Standards in order to construct a single-family home within the Gateway East District. Please refer to the attached documents for further information.

Supporting Documents:

- Location Map
- Staff Presentation
- Letter of Intent

Staff Recommendation:

N/A



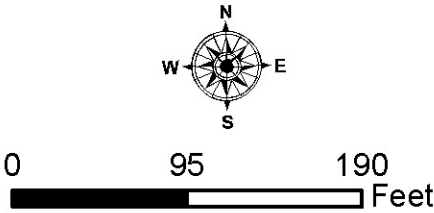
Attachment: Location Map (310 S Texas – Major Modifications)

Legend

- Subject Property
- City Limits
- Roads
- Parcels

310 S Texas Dr.
Location
City of Celina

3/30/2023



310 S TEXAS

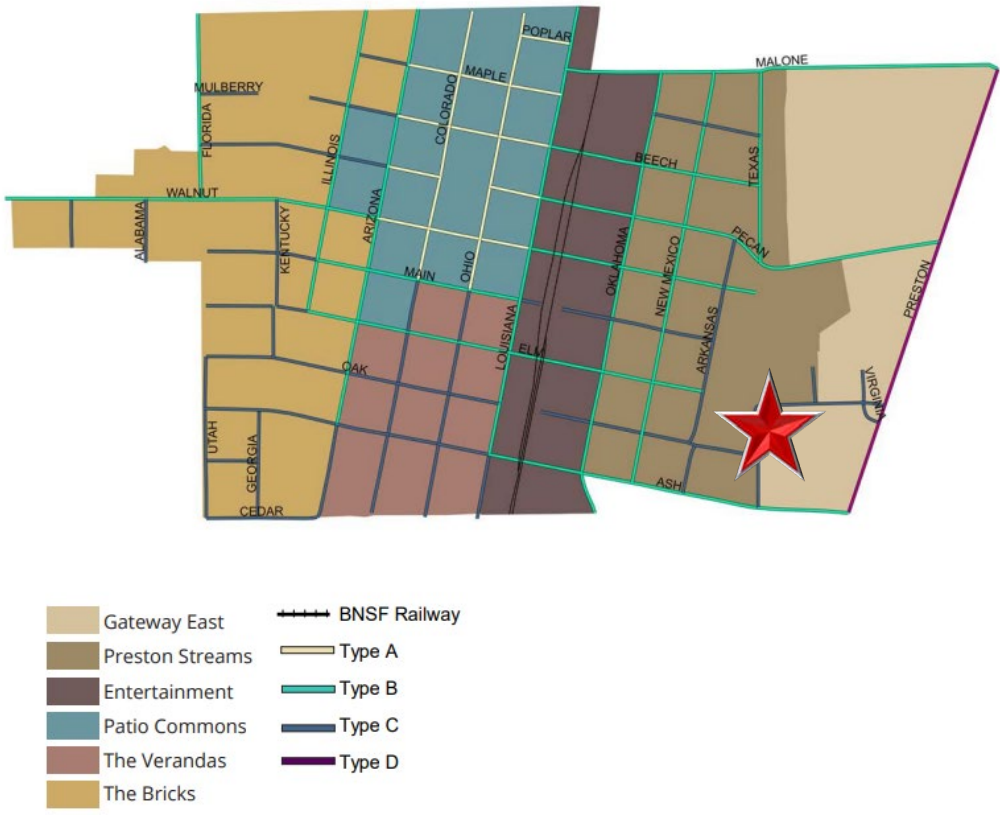
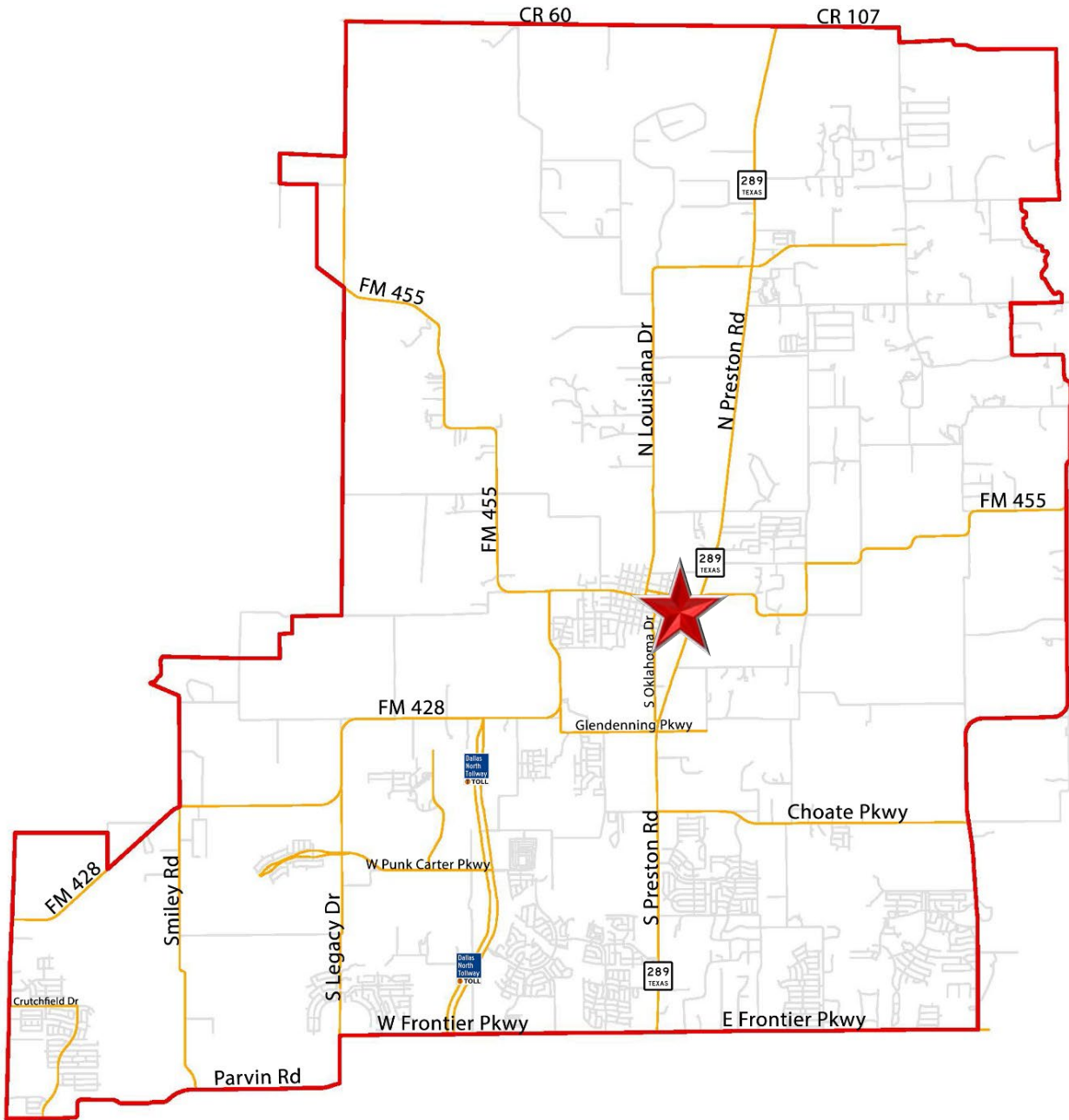
MAJOR MODIFICATIONS

Downtown Commission
May 4, 2023



APPLICANT REQUEST

Conduct a public hearing to consider and act upon Major Modifications to the Downtown Code Architectural Standards for a single-family home located at 310 S. Texas Dr.



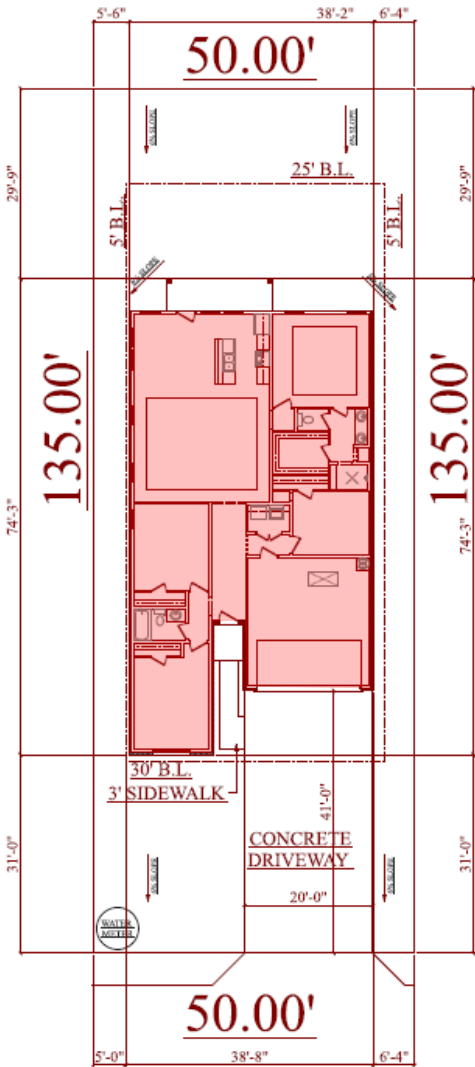


The subject property is generally located east of Texas Drive and approximately 425 feet north of Ash Street, within the Gateway East District

PROJECT BACKGROUND

- The applicant desires to construct a detached, single-family dwelling
- The Downtown Code requires new construction to adhere to the Historic Texas Architectural Style characteristic of structures built from the 1890s to the 1930s
- The applicant has proposed a suburban style home that does not meet the Historic Texas Architectural Style
- The applicant is seeking Major Modifications from the Downtown Code architecture regulations in order to construct the home as proposed

PROPOSED SITE PLAN & ELEVATIONS



3060 SH TWIN
VINYL W/LOW-E
GLASS @ 6'8" H.H.

3068 EXT.
DOOR

16'X7' OVERHEAD GARAGE DOOR

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DOWNTOWN COMMISSION DUTIES

- Approve/disapprove major modifications for the Downtown district
- Approve/disapprove appeals from staff regarding interpretation and minor modifications
- Promote design guidelines for the Downtown district
- Review any long-range planning activities of the Downtown
- Recommend policies pertaining to the Downtown to City Council
- Discuss, review, and recommend policies pertaining to gentrification and Downtown residential living

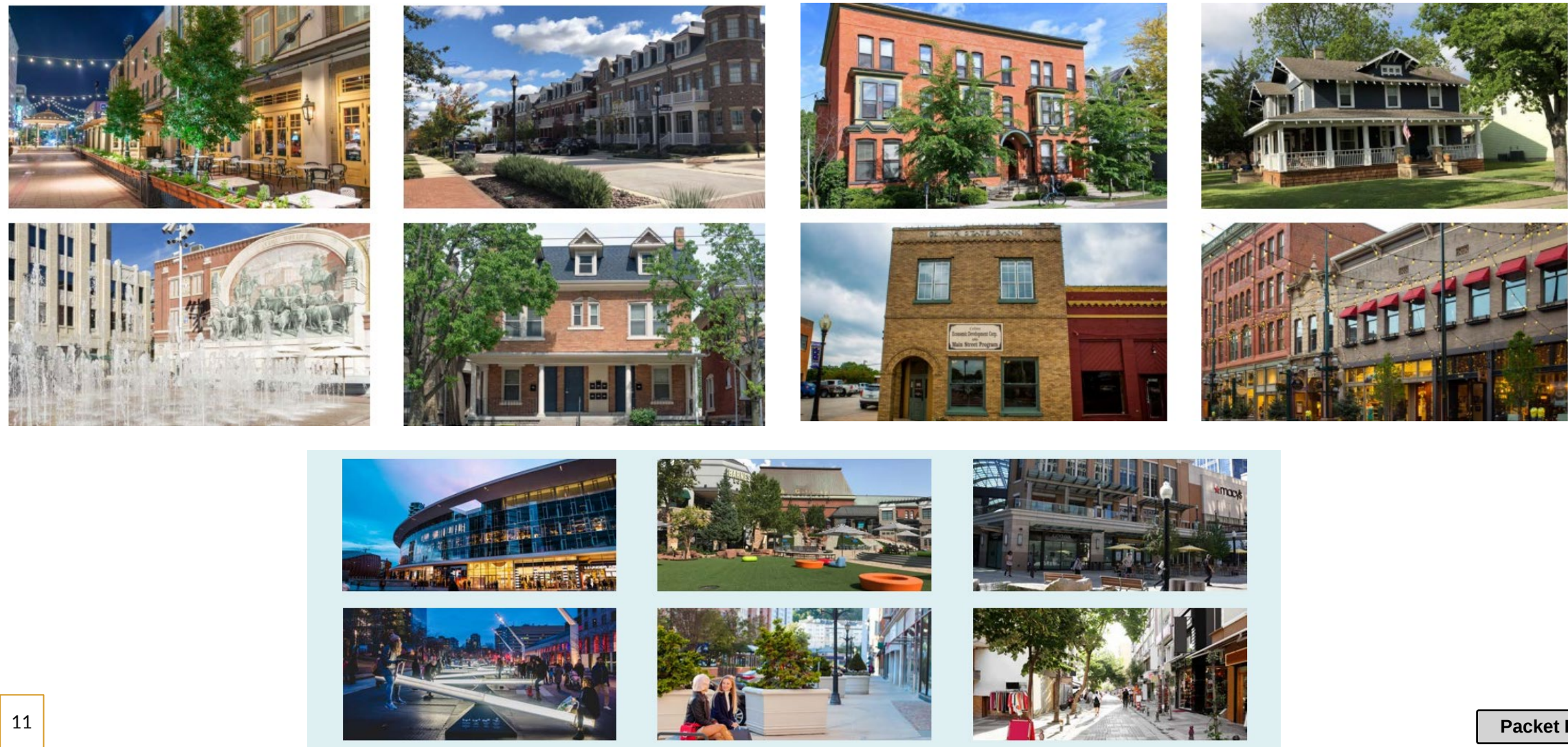
MAJOR MODIFICATIONS OVERVIEW

- The Downtown Commission is responsible for reviewing major modification requests, and the decision to approve or deny a request shall be based on the following considerations:
 - The physical conditions of the property which make compliance to the specific standard physically impossible (hardships shall not be self-imposed)
 - The applicant has met the burden of presenting an alternative means of compliance that clearly demonstrates how the code exception would equal or exceed the existing standard in terms of achieving the stated principles above
 - The modification will not significantly impact adjacent property owners, the character of the area, traffic conditions, parking, public infrastructure, water quality management, and other matters affecting the public health, safety and general welfare
 - The modification will not deviate from the basic urban principle that buildings should directly front streets (as opposed to being set back from the right-of-way) and add value to the pedestrian walkability of the street edge

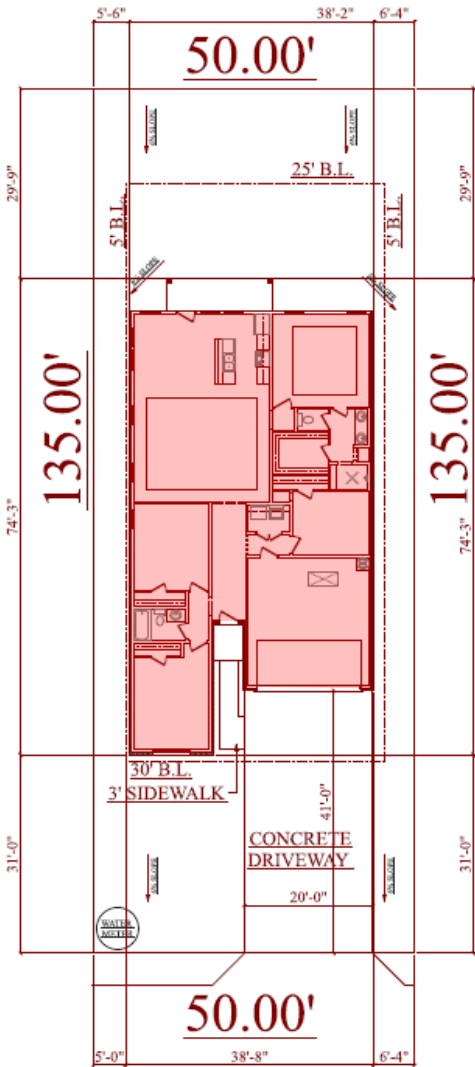
MAJOR MODIFICATIONS OVERVIEW

- When reviewing requests for modifications, the Downtown Commission shall consider the following principles:
 - Development shall enhance Celina's position as the region's predominant economic, civic, entertainment, and cultural center
 - Development shall positively contribute to unique mobility corridors with high-quality public realms
 - Development shall provide and maintain compatible transitions of form, use, and scale between existing and new development
 - Reinvestment in existing neighborhoods shall enhance existing characteristics and heritage
 - Historic resources shall be preserved, restored, and protected to the extent practicable, and new construction should have a Historic Texas design with special consideration given to the design of the public realm
 - Parking and access shall be balanced in a pedestrian- and bicycle-oriented manner
 - Landscape and public art shall be provided
 - Design of development shall be sustainable in how it caters to the people who experience Downtown, impacts the environment, and provides a tenacious fiscal return
 - Diversity of housing types, styles, prices, and sizes shall be encouraged
 - Administration of the Downtown Code shall prioritize reducing barriers to entry for new businesses

REPRESENTATIVE IMAGERY



PROPOSED SITE PLAN & ELEVATIONS



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ADJACENCY

Future City Park

Future Commercial Development



ADJACENCY



POLICY CONSIDERATIONS

- The Downtown Code was intended to prevent suburban tract housing in Downtown, and the proposed residence is suburban in nature
- The applicant has incorporated some features reminiscent of the Historic Texas Architectural Style (shutters, gables, decorative vents, etc.) into the design
- The House Building Type is not a permitted building type in the Gateway East District
- The block is developed as single-family residential
- The Downtown Code generally requires parking to be visually mitigated from the public right-of-way
- The applicant has recessed the garage 10' from the front building plane, which was the historic standard of Downtown
- The Downtown Code does not require two enclosed parking spaces and encourages on-street parking for an enhanced pedestrian experience

RECOMMENDATION

- Notices were published in compliance with State and local law
- The Downtown Commission is the final approval authority for Major Modifications

Is a traditional suburban style home (in)appropriate for this location?

Please accept this letter as a request for clarification and possible exception to the Downtown Code (DTC), specifically regarding Architectural Styles for our submittal at 310 S Texas St, Celina Tx.

The DTC section **(nn) Architectural Style** strives for the buildings to reflect the Historic Texas Style. "To achieve the architectural style and characteristics of homes constructed from 1890's to 1930's", The DTC describes 8 specific elements of which a "minimum of four 4", which should be incorporated into the home. They are:

- (A) Multiple pane (divided light) windows**
- (B) Decorative columns and railings within the front porch area
- (C) Gables with decorative vents and windows**
- (D) Dormer windows
- (E) Cupolas
- (F) Bay Windows with a maximum projection of 24 inches
- (G) Window shutters: and/or**
- (H) Tripartite architecture

As originally submitted our elevation included 3 of the 4 elements (Multiple pane windows, Gables, window shutters) and we have agreed to include either a Bay Window or a Cupola to meet the requirements.

The challenge for us, and other applicants, is the subjective nature of "Historic Texas Style". Staff provided 3 recent homes that met their interpretation of the desired style, and they are included as attachments with this letter. Also attached is the elevation of our submittal with incorporated design elements notated and a neighboring house (306 S Texas) recently completed.

I recommend the Downtown Code be considered for an update to provide clearer **direction** for applicants and more **discretion** for Staff.

Thank you for your consideration.

Sincerely,

HMS Family Realty

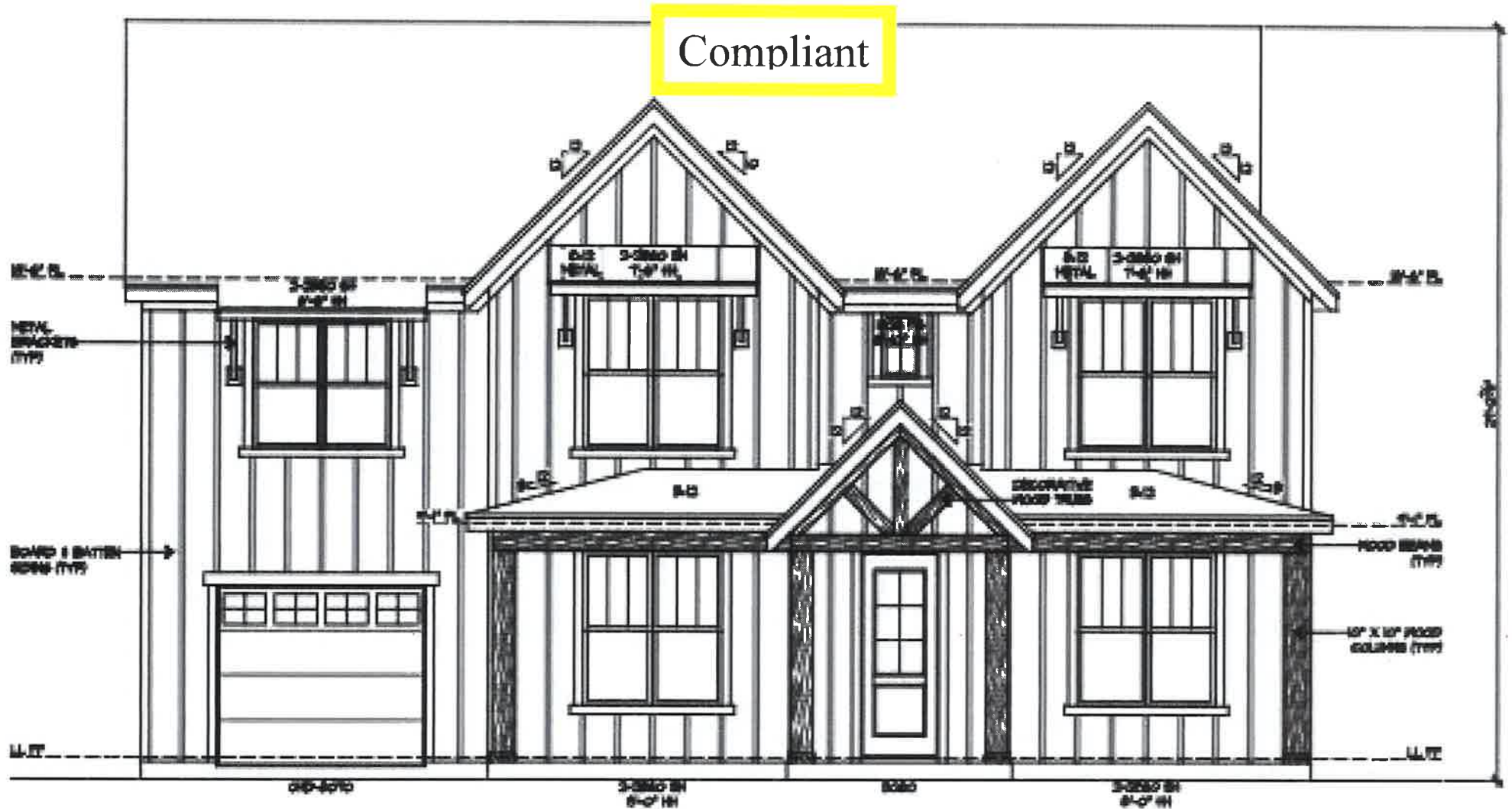


Buddy Minett

Manager

207 S Illinois - Compliant

Attachment: Letter of Intent (310 S Texas – Major Modifications)



FRONT ELEVATION

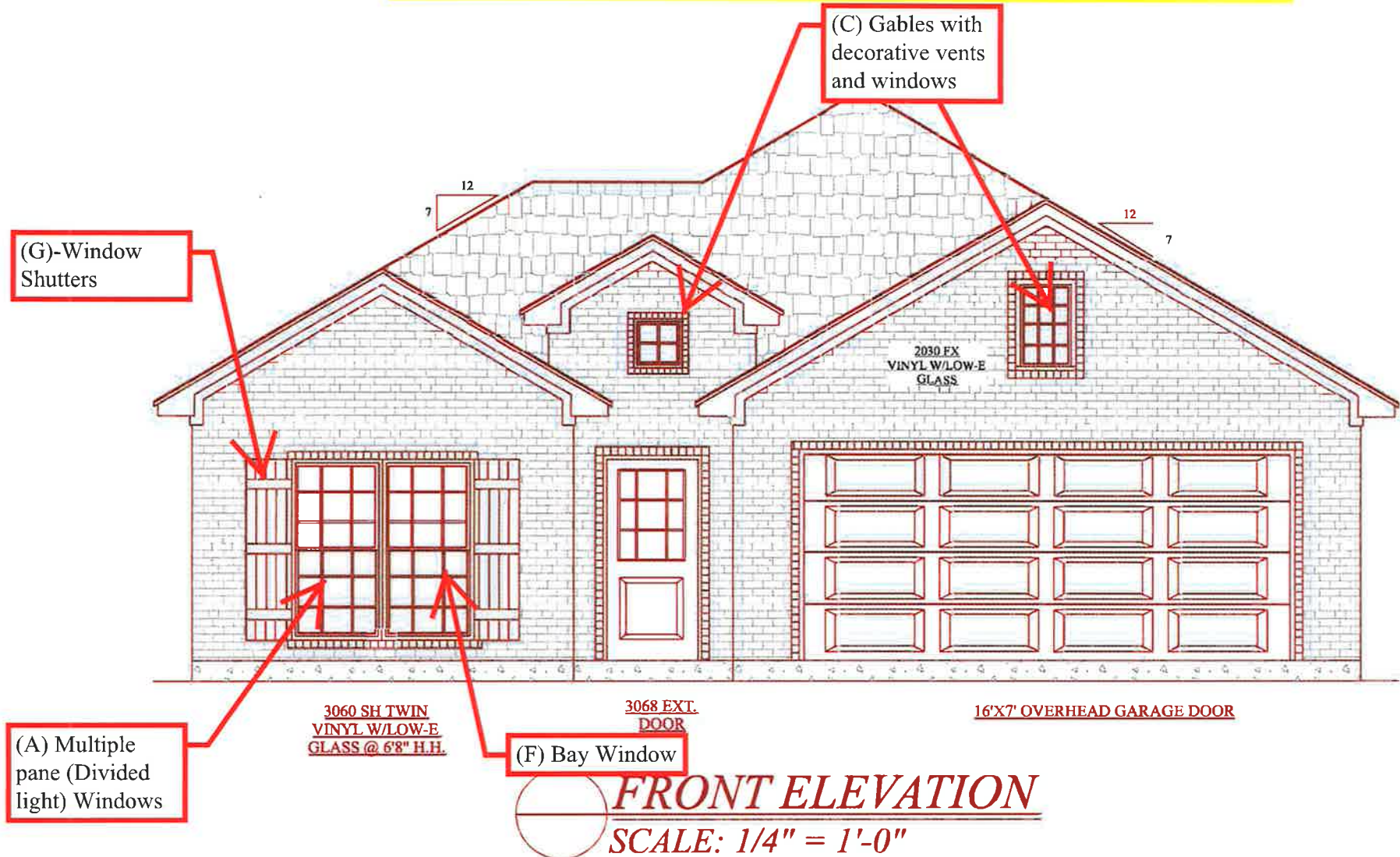
SCALE: 1/4" = 1'-0"
(ON MASONRY)

Attachment: Letter of Intent (310 S Texas – Major Modifications)

307 S New Mexico - Compliant

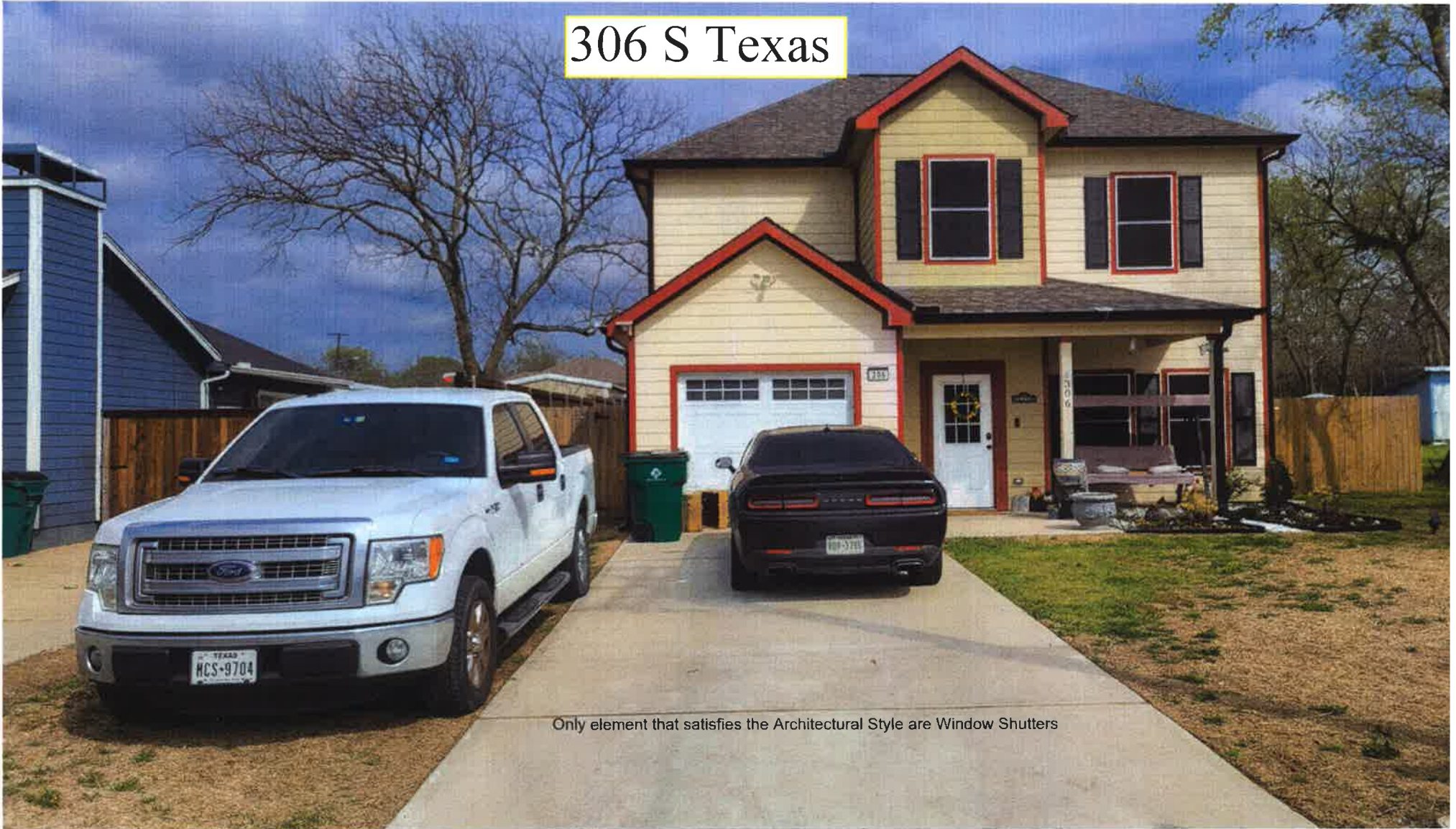
Attachment: Letter of Intent (310 S Texas - Major Modifications)

310 S Texas (as submitted)



Attachment: Letter of Intent (310 S Texas – Major Modifications)

306 S Texas



Only element that satisfies the Architectural Style are Window Shutters

Attachment: Letter of Intent (310 S Texas – Major Modifications)